

Attachment C

Selected Drawings – Group 2

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REV	DATE	DESCRIPTION	APP
1	18/03/2022	REVISIONS FOR DEVELOPMENT APPLICATION	NC
2	18/03/2022	DEVELOPMENT APPLICATION	NC

- Legend
- EXISTING FABRIC
 - EXISTING FABRIC TO BE REMOVED
 - FLOOR OR ROOF TO BE REMOVED
 - EXTENT OF NEW WORKS
 - NEW FITTED COLUMNS REQUIRED FOR SEISMIC STRENGTHENING OF BUILDING

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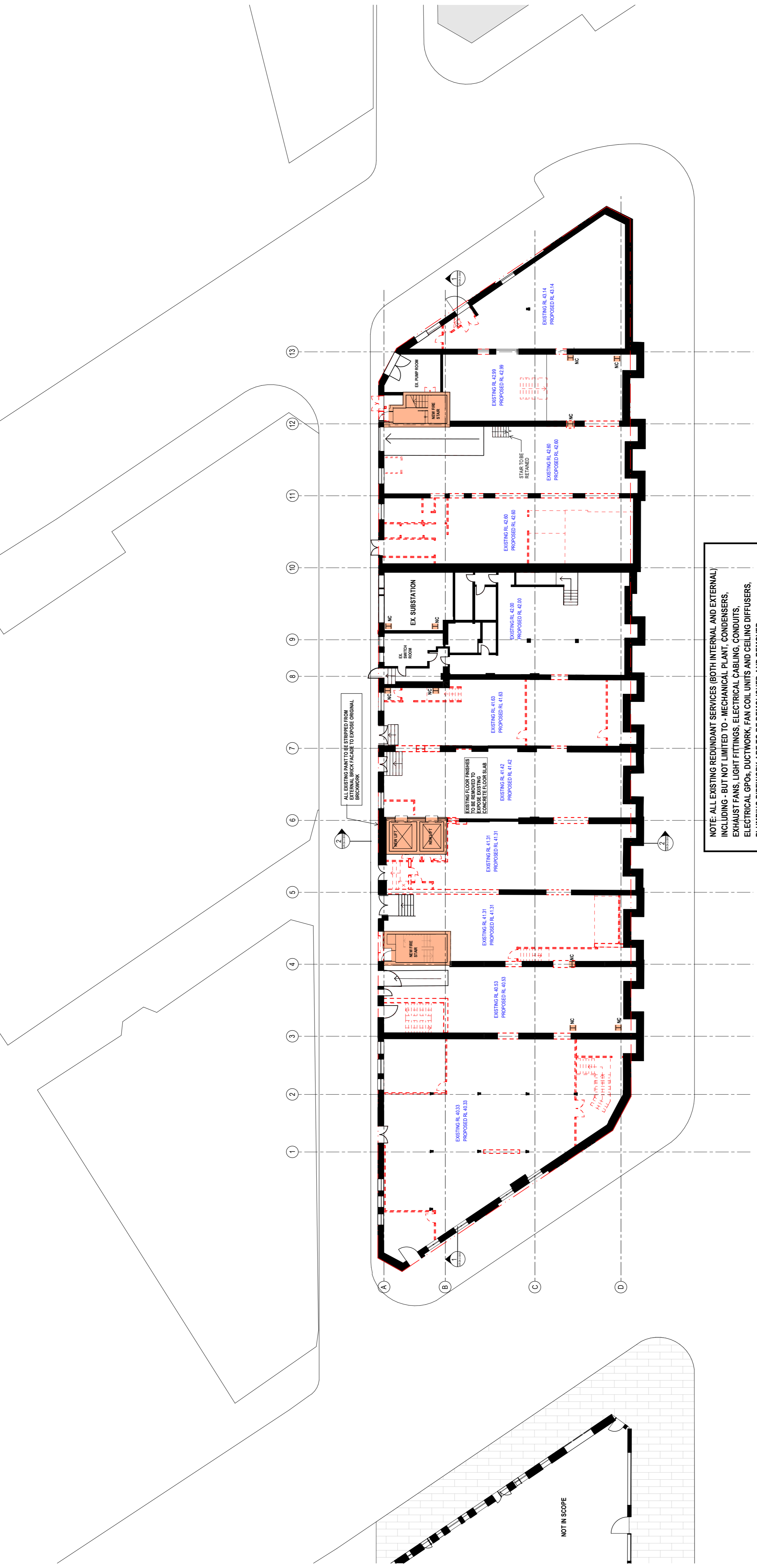
PROJECT: #2021002
 DARLINGHURST COLLECTION

DRAWING TITLE: GROUP 2 LOWER GROUND FLOOR RESTORATION PLAN

SHEET NUMBER: AR-DA-2-1000
 REV: 2

DATE: 25/02/2022

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REV	DATE	DESCRIPTION	APPLICATION	APP
1	18/03/2022	PRELIMINARY DEVELOPMENT APPLICATION	N/S	N/S
2	18/03/2022	DEVELOPMENT APPLICATION	N/S	N/S

Legend:

- EXISTING FABRIC
- EXISTING FABRIC TO BE REMOVED
- FLOOR OR ROOF TO BE REMOVED
- EVENT OF NEW WORKS
- INC - INTEREST CHANGES REQUIRED FOR SERVICE STRUCTURE OF BUILDING



NOTE: ALL EXISTING REDUNDANT SERVICES (BOTH INTERNAL AND EXTERNAL) INCLUDING - BUT NOT LIMITED TO - MECHANICAL PLANT, CONDENSERS, EXHAUST FANS, LIGHT FITTINGS, ELECTRICAL CABLING, CONDUITS, ELECTRICAL GPB, DUCTWORK, FAN COIL UNITS AND CEILING DIFFUSERS, PLUMBING PIPEWORK ARE TO BE DEMOLISHED AND REMOVED

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NOTE: ALL ORIGINAL JOINERY - INCLUDING BUT NOT LIMITED TO - SKIRTINGS, ARCHITRAVES, MOULDINGS, DADO RAILS AND CORNICES, WHICH ARE REMOVED AS PART OF WALL/CEILING DEMOLITION ARE TO BE RETAINED ON SITE FOR RE-USE IN FUTURE TENANTS FITOUT WORKS

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PROJECT:
#2021002
**DARLINGHURST
COLLECTION**

DRAWING TITLE:
**GROUP 2 GROUND FLOOR
RESTORATION PLAN**

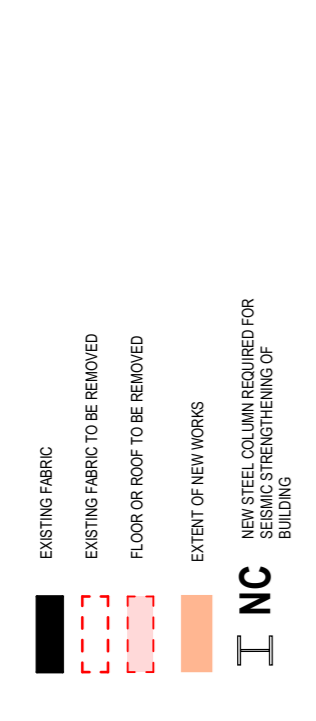
SHEET NUMBER:
AR-DA-2-1001

REV: **2**

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REV	DATE	DESCRIPTION	APP
1	17/03/2022	DEVELOPMENT APPLICATION	NG
2	03/02/2022	DEVELOPMENT APPLICATION	NG



I NC
 NEW STEEL COLUMNS REQUIRED FOR SEISMIC STRENGTHENING OF BUILDING



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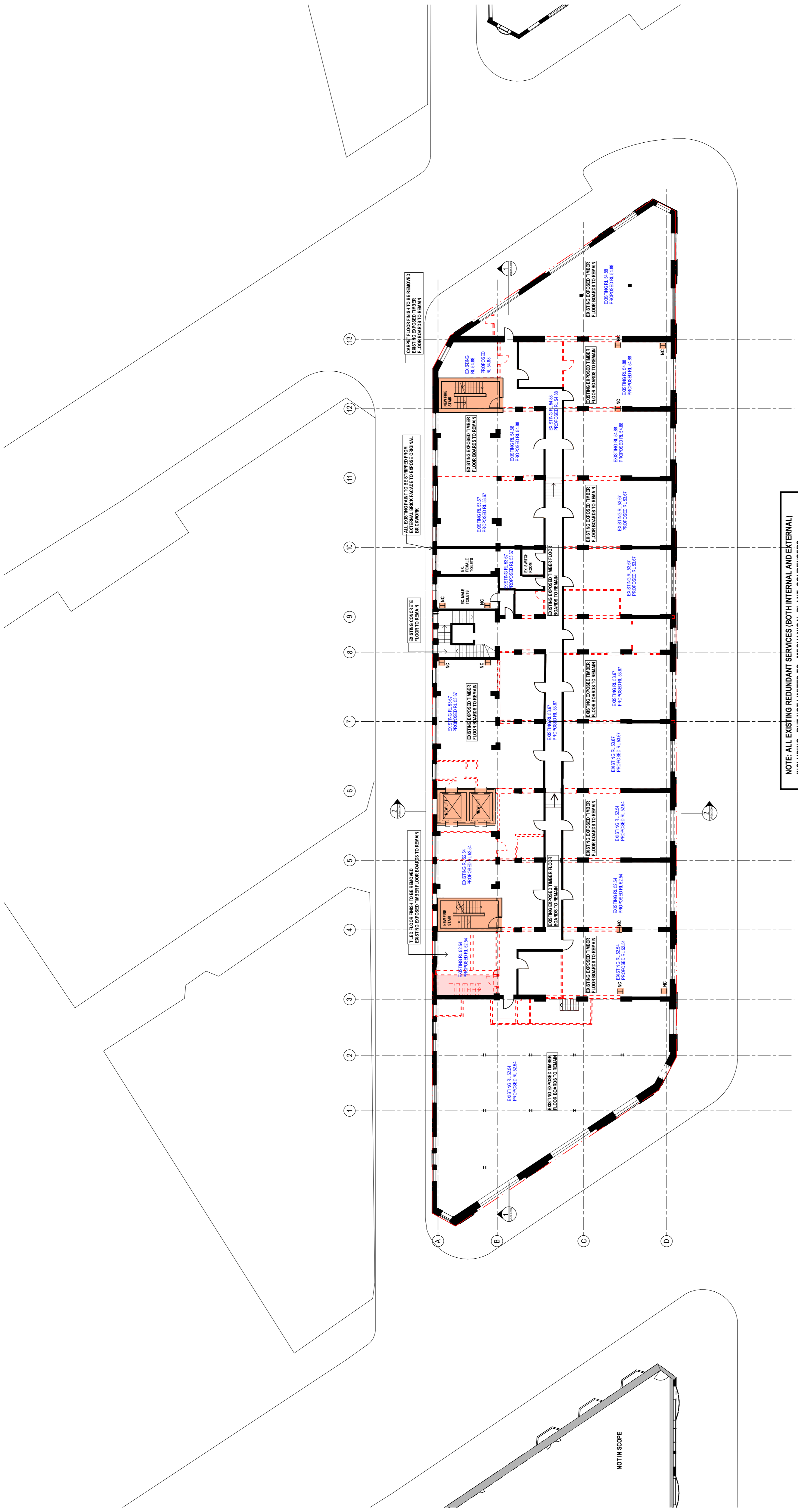
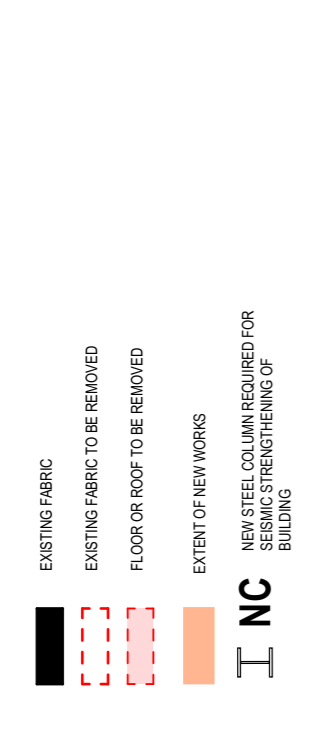
PROJECT: #2021002
DARLINGHURST COLLECTION
 DRAWING TITLE:
GROUP 2 LEVEL 1 RESTORATION PLAN

SHEET NUMBER: AR-DA-2-1002
 REV: 2
 DATE: 25/02/2022

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REV	DATE	DESCRIPTION	APP
1	18/02/22	DEVELOPMENT APPLICATION	NIG
2	18/02/22	DEVELOPMENT APPLICATION	NIG



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PROJECT:
#2021002

**DARLINGHURST
 COLLECTION**

DRAWING TITLE:
GROUP 2 LEVEL 2
RESTORATION PLAN

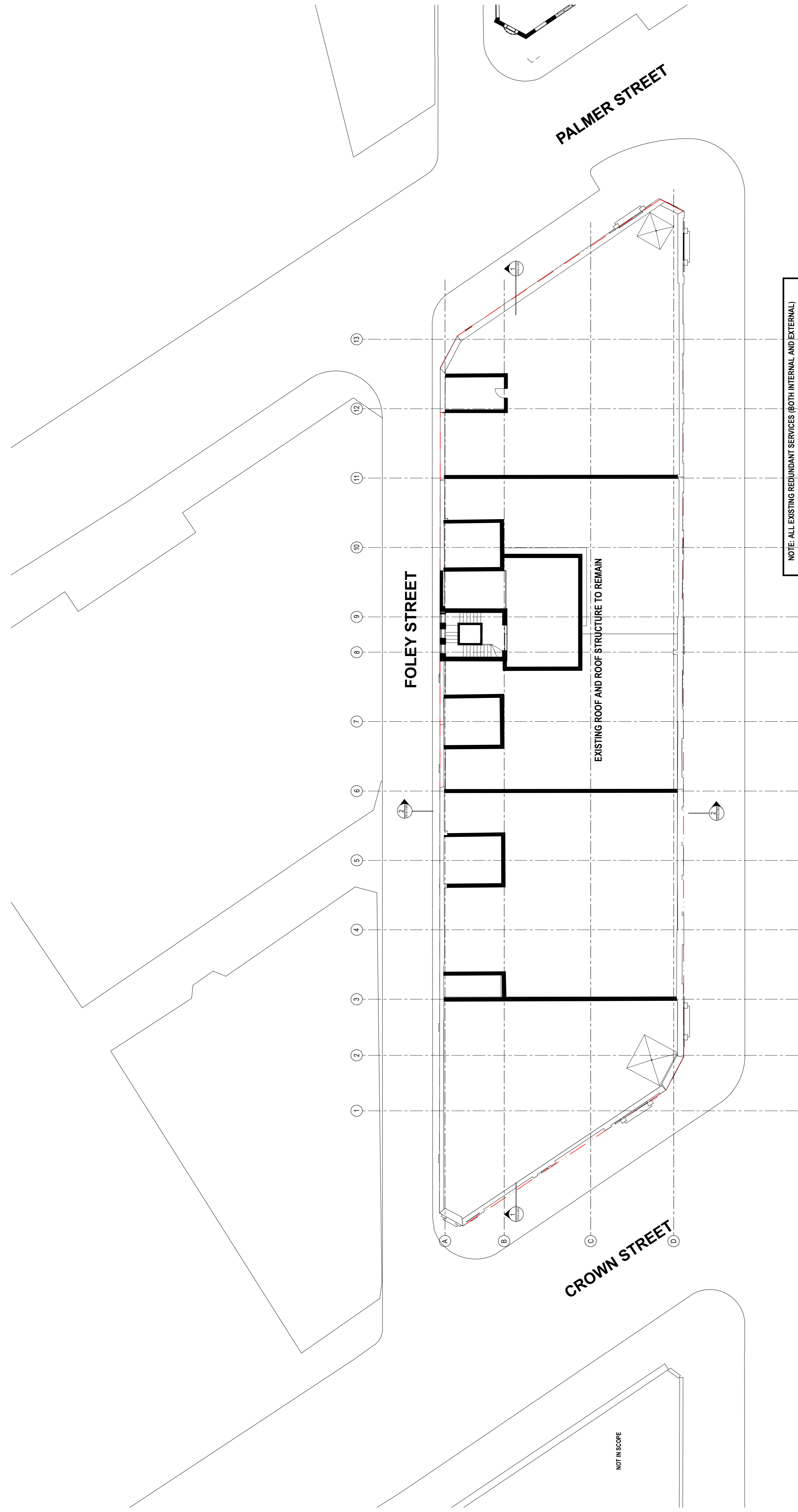
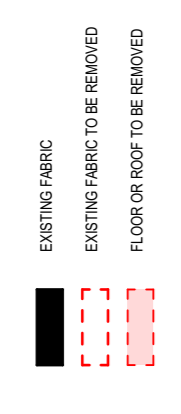
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REV:
2

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REV	DATE	DESCRIPTION	APP	NIG	NUG
1	28/02/2022	DEVELOPMENT APPLICATION			
2	16/03/2022	DEVELOPMENT APPLICATION			



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PROJECT: #2021002
DARLINGHURST COLLECTION

DRAWING TITLE:
GROUP 2 ROOF LEVEL RESTORATION PLAN

SHEET NUMBER: **AR-DA-2-1004** REV: **2**
 DATE: 25/02/2022

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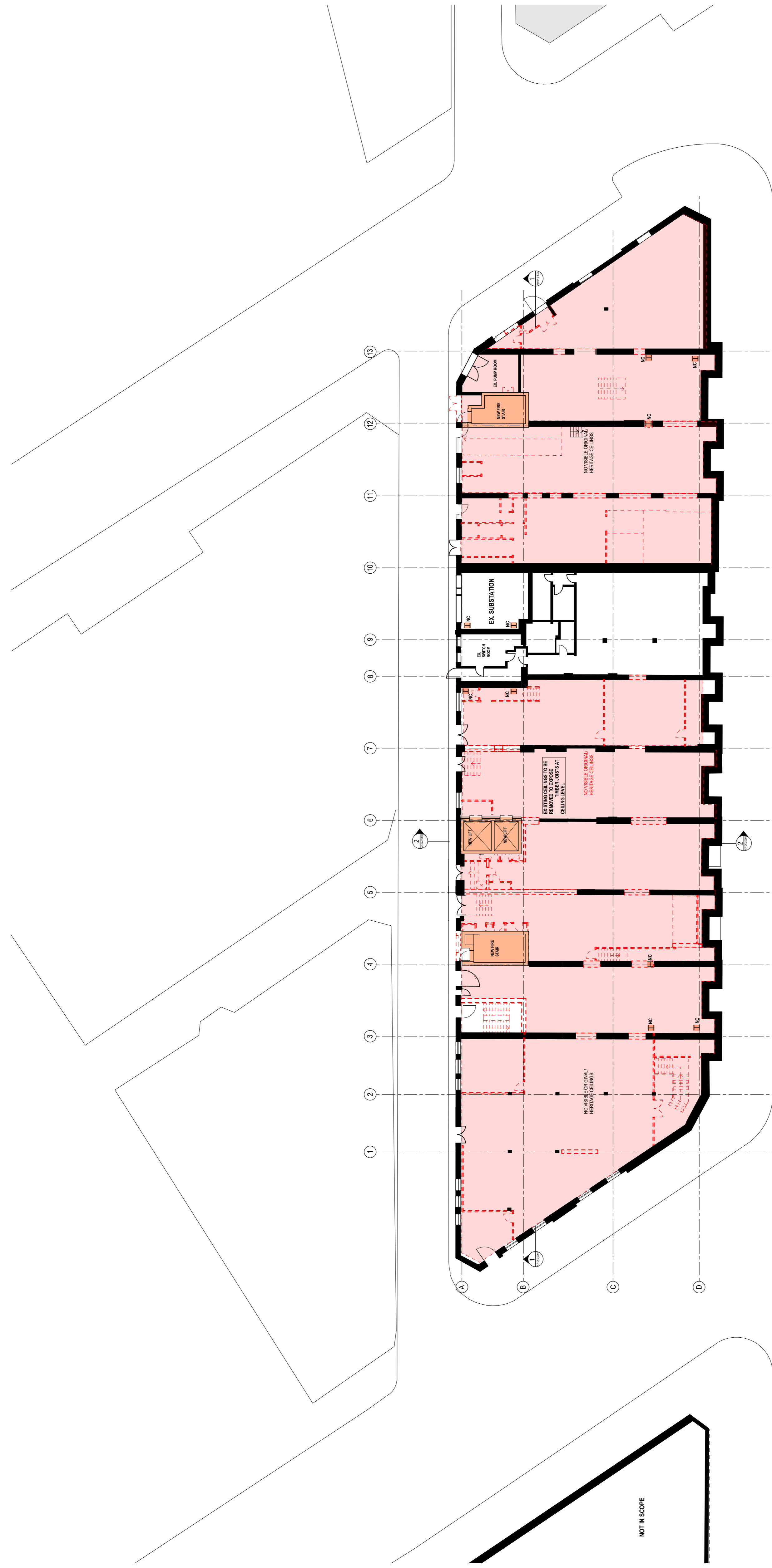
REV	DATE	DESCRIPTION	APP
1	25/02/2022	DEVELOPMENT APPLICATION	N/G
2	16/03/2022	DEVELOPMENT APPLICATION	N/G

NEW STEEL COLUMN REQUIRED FOR SEISMIC STRENGTHENING OF BUILDING

EXISTING FABRIC
 EXTENT OF EXISTING CEILING TO BE REMOVED REFER TO DETAILED NOTES ON DRAWINGS

LEGEND - CEILING TYPES

	EXISTING NON-ORIGINAL CEILING
	EXISTING CEILING TO BE REMOVED
	NEW CEILING TO BE INSTALLED
	NEW CEILING TO BE INSTALLED WITH MESH REINFORCEMENT
	NEW CEILING TO BE INSTALLED WITH MESH REINFORCEMENT AND REPRESENTATIVE OF ON-SITE APPEARANCE
	EXISTING CEILING TO BE REMOVED AND NEW CEILING TO BE INSTALLED WITH REPRESENTATIVE OF ON-SITE APPEARANCE
	EXISTING CEILING TO BE REMOVED AND NEW CEILING TO BE INSTALLED WITH REPRESENTATIVE OF ON-SITE APPEARANCE AND MESH REINFORCEMENT
	EXISTING CEILING TO BE REMOVED AND NEW CEILING TO BE INSTALLED WITH REPRESENTATIVE OF ON-SITE APPEARANCE AND MESH REINFORCEMENT AND MESH REINFORCEMENT



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PROJECT: #2021002
DARLINGHURST COLLECTION

DRAWING TITLE:
GROUP 2 LOWER GROUND FLOOR RESTORATION RCP

SHEET NUMBER: **AR-DA-2-2000** REV: **2**
 DATE: 25/02/2022

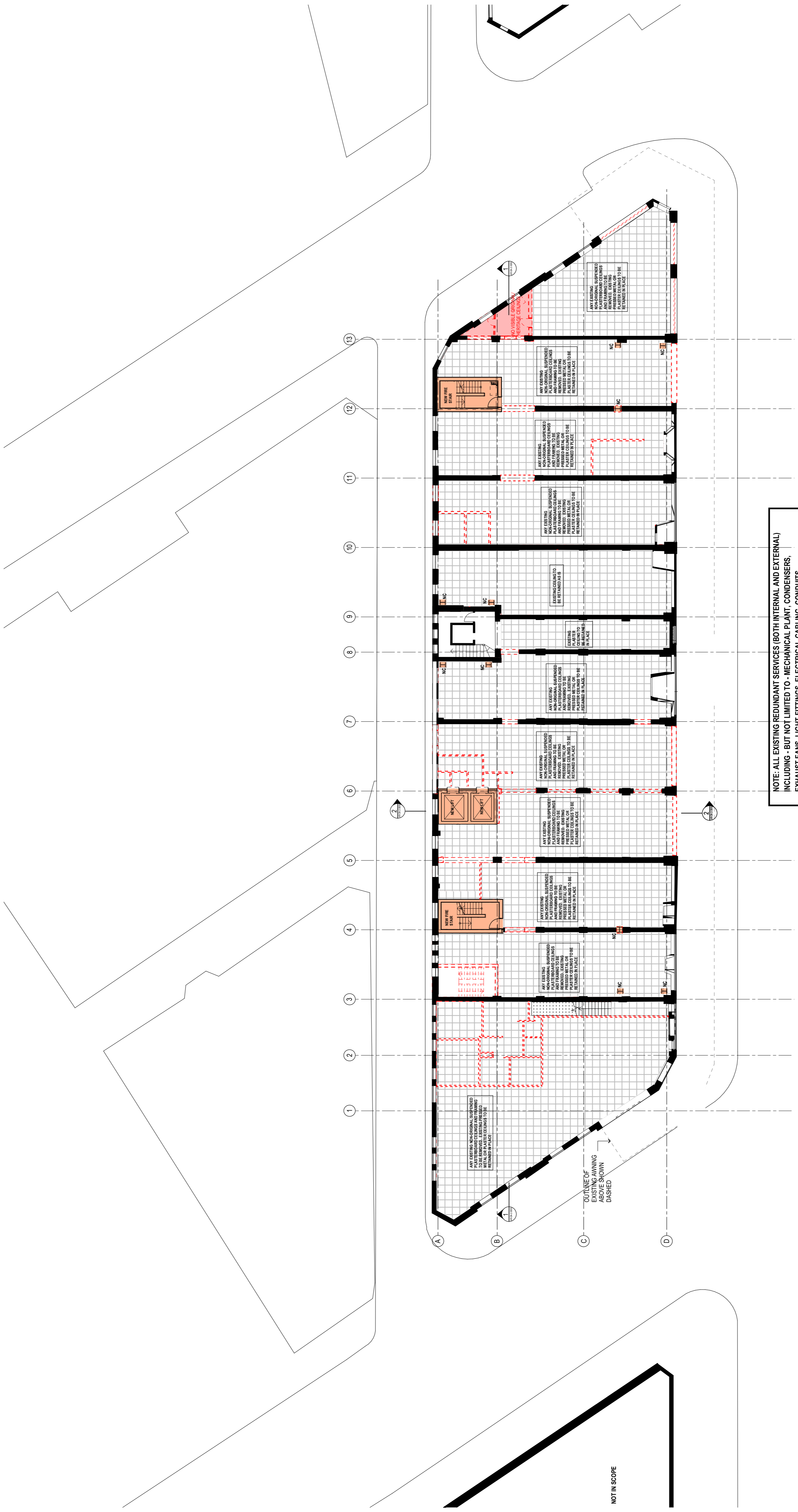
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REV	DATE	DESCRIPTION	APP
1	28/02/2022	DEVELOPMENT APPLICATION SUBMISSION	NIG
1	28/02/2022	DEVELOPMENT APPLICATION SUBMISSION	NIG

SYMBOL	DESCRIPTION
	NEW STEEL COLUMN REQUIRED FOR SEISMIC STRENGTHENING OF BUILDING
	EXISTING FABRIC
	EXISTING FABRIC TO BE REMOVED
	EXTENT OF EXISTING CEILING TO BE REMOVED REFER TO DETAILED NOTES ON DRAWINGS

SYMBOL	LEGEND - CEILING TYPES
	EXISTING CEILING
	EXISTING NON-STRUCTURAL CEILING
	EXISTING CEILING WITH PATTERNS INDICATIVE ONLY NOT REPRESENTATIVE OF ON-SITE APPEARANCE
	EXISTING CEILING WITH PATTERNS INDICATIVE ONLY NOT REPRESENTATIVE OF ON-SITE APPEARANCE
	EXISTING CEILING WITH PATTERNS INDICATIVE ONLY NOT REPRESENTATIVE OF ON-SITE APPEARANCE
	EXISTING CEILING WITH PATTERNS INDICATIVE ONLY NOT REPRESENTATIVE OF ON-SITE APPEARANCE
	EXISTING CEILING WITH PATTERNS INDICATIVE ONLY NOT REPRESENTATIVE OF ON-SITE APPEARANCE
	EXISTING CEILING WITH PATTERNS INDICATIVE ONLY NOT REPRESENTATIVE OF ON-SITE APPEARANCE



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 ALL FIRE SAFETY SYSTEMS INCLUDING, BUT NOT LIMITED TO EXIT SIGNS, EMERGENCY LIGHTING, SPRINKLERS, SMOKE/THERMAL DETECTORS, EWS/BOWS, FIRE INDICATOR PANELS, HYDRANTS, FIRE SERVICES PUMPS AND BOOSTERS ARE TO BE RETAINED AND REMAIN OPERATIONAL

NOTE: ALL ORIGINAL JOINERY - INCLUDING BUT NOT LIMITED TO - SKIRTINGS, ARCHITRAVES, MOULDINGS, DADO RAILS AND CORNICES, WHICH ARE REMOVED AS PART OF WALL/CEILING DEMOLITION ARE TO BE RETAINED ON SITE FOR RE-USE IN FUTURE TENANTS FITOUT WORKS

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ARCHITECT: PLACE

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PROJECT: #2021002

DARLINGHURST COLLECTION

DRAWING TITLE: GROUP 2 GROUND FLOOR RESTORATION RCP

SHEET NUMBER: AR-DA-2-2001
 REV: 2

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APP **DESCRIPTION** **DATE** **DATE** **DATE** **DATE**
MS **MS** **MS** **MS** **MS** **MS**
NS **NS** **NS** **NS** **NS** **NS**

REVISIONS

REV	DATE	DESCRIPTION	BY	CHK	APP
1	20/02/2022	PRELIMINARY DEVELOPMENT APPLICATION			
2	10/02/2022	DEVELOPMENT APPLICATION			

LEGEND

- NEW STEEL COLUMN REQUIRED FOR BSIMC STRENGTHENING OF BUILDING
- EXISTING FABRIC
- EXISTING FABRIC TO BE REMOVED
- EXISTING CEILING TO BE REMOVED
- EXISTING CEILING TO BE RETAINED
- REMOVED REFER TO DETAILED NOTES ON SHEETS

LEGEND - CEILING TYPES

- EXISTING MESH CEILING WITH PATTERNS INDICATIVE ONLY (NOT REPRESENTATIVE OF ON-SITE APPEARANCE)
- EXISTING PLASTERBOARD CEILING WITH PATTERNS INDICATIVE ONLY (NOT REPRESENTATIVE OF ON-SITE APPEARANCE)
- EXISTING NON-ORIGNAL CEILING

Verify all dimensions on site before commencing work. Report all discrepancies to the client. The drawings are prepared in accordance with the Australian Standards AS/NZS 1170 and AS/NZS 1171 for any variations to specifications or drawings due to any discrepancies without consultation. Use figured dimensions in preference to scaled dimensions. Drawings prepared at a different scale to the previous drawings shall be clearly marked as such. All work is to conform to relevant Australian Standards and Codes together with all Authorities requirements and Regulations.

APP **DESCRIPTION** **DATE** **DATE** **DATE** **DATE**
MS **MS** **MS** **MS** **MS** **MS**
NS **NS** **NS** **NS** **NS** **NS**

REVISIONS

REV	DATE	DESCRIPTION	BY	CHK	APP
1	20/02/2022	PRELIMINARY DEVELOPMENT APPLICATION			
2	10/02/2022	DEVELOPMENT APPLICATION			

LEGEND

- NEW STEEL COLUMN REQUIRED FOR BSIMC STRENGTHENING OF BUILDING
- EXISTING FABRIC
- EXISTING FABRIC TO BE REMOVED
- EXISTING CEILING TO BE REMOVED
- EXISTING CEILING TO BE RETAINED
- REMOVED REFER TO DETAILED NOTES ON SHEETS

LEGEND - CEILING TYPES

- EXISTING MESH CEILING WITH PATTERNS INDICATIVE ONLY (NOT REPRESENTATIVE OF ON-SITE APPEARANCE)
- EXISTING PLASTERBOARD CEILING WITH PATTERNS INDICATIVE ONLY (NOT REPRESENTATIVE OF ON-SITE APPEARANCE)
- EXISTING NON-ORIGNAL CEILING



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CLIENT: TOGA

ARCHITECT: **PLACE**

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PROJECT: #2021002

DARLINGHURST COLLECTION

DRAWING TITLE: GROUP 2 LEVEL 1 RESTORATION RCP

SHEET NUMBER: AR-DA-2-2002

REV: 2

DATE: 25/02/2022

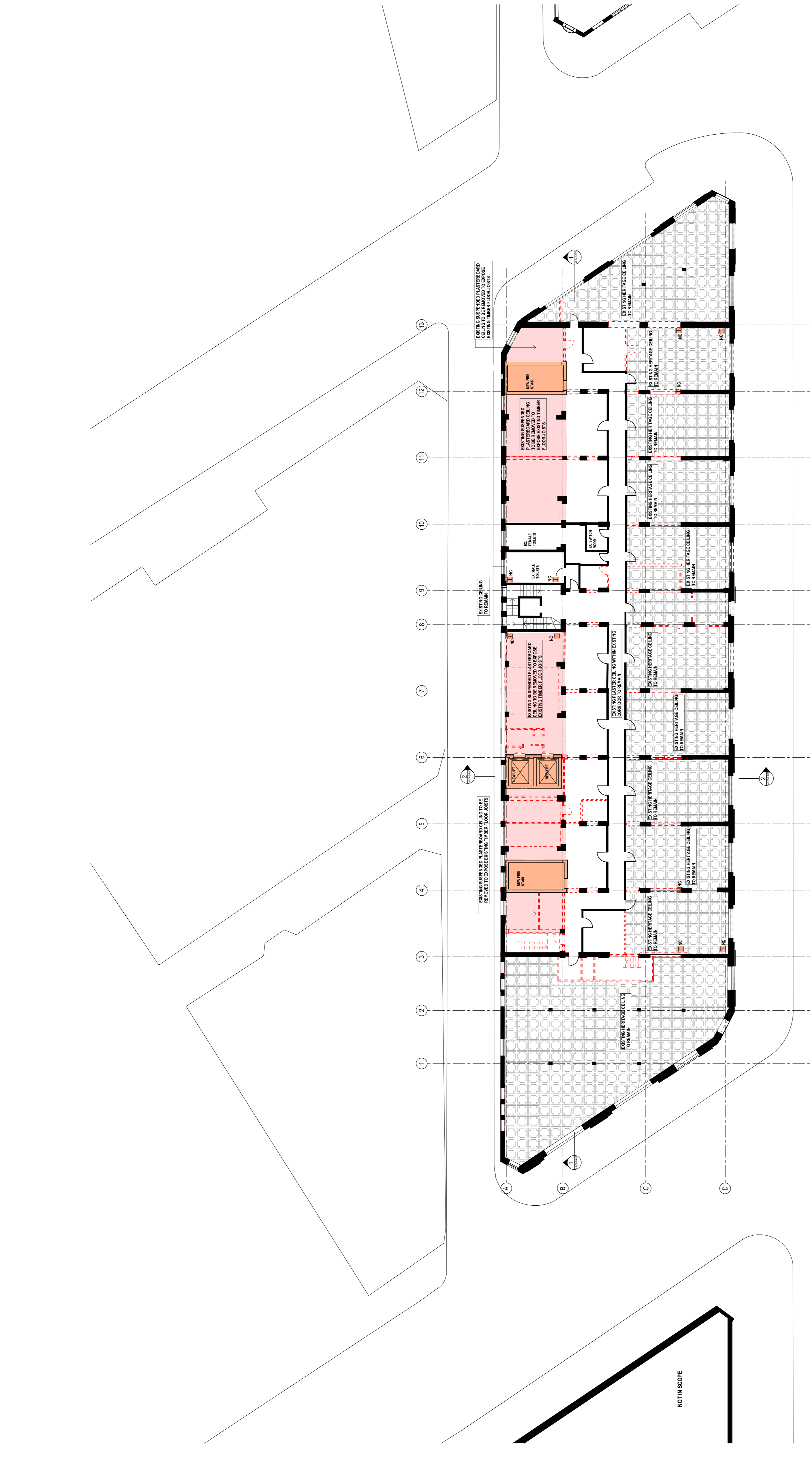
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REV	DATE	DESCRIPTION	APP
1	26/02/2022	DEVELOPMENT APPLICATION SUBMITTAL	ING
2	03/04/2022	DEVELOPMENT APPLICATION SUBMITTAL	ING

REVISIONS	DESCRIPTION
1	NEW STEEL COLUMN REQUIRED FOR SEMIC SPANNING OF BUILDING
2	EXISTING FABRIC
3	EXISTING FABRIC TO BE REMOVED
4	EXTENT OF EXISTING CEILING TO BE REMOVED REFER TO DETAILED NOTES ON THIS SHEET

LEGEND - CEILING TYPES	
	EXISTING
	EXISTING PLASTER CEILING WITHIN EXISTING CORRIDOR TO REMAIN
	EXISTING PLASTER CEILING TO BE REMOVED TO EXPOSE EXISTING TRIMMER FLOOR JOISTS
	EXISTING PLASTER CEILING WITHIN EXISTING CORRIDOR TO BE REMOVED TO EXPOSE EXISTING TRIMMER FLOOR JOISTS
	EXISTING PLASTER CEILING WITHIN EXISTING CORRIDOR TO BE REMOVED TO EXPOSE EXISTING TRIMMER FLOOR JOISTS
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	EXISTING PLASTER CEILING WITHIN EXISTING CORRIDOR TO BE REMOVED TO EXPOSE EXISTING TRIMMER FLOOR JOISTS
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NOTE: ALL EXISTING REDUNDANT SERVICES (BOTH INTERNAL AND EXTERNAL) INCLUDING - BUT NOT LIMITED TO - MECHANICAL PLANT, CONDENSERS, EXHAUST FANS, LIGHT FITTINGS, ELECTRICAL CABLING, CONDUITS, ELECTRICAL GPDS, DUCTWORK, FAN COIL UNITS AND CEILING DIFFUSERS, PLUMBING PIPEWORK ARE TO BE DEMOLISHED AND REMOVED

ALL FIRE SAFETY SYSTEMS INCLUDING, BUT NOT LIMITED TO EXIT SIGNS, EMERGENCY LIGHTING, SPRINKLERS, SMOKE THERMAL DETECTORS, EMBUSBS, FIRE INDICATOR PANELS, HYDRANTS, SMOKE PUMPS AND BOOSTERS ARE TO BE RETAINED AND REMAIN OPERATIONAL

NOTE: ALL ORIGINAL JOINERY - INCLUDING BUT NOT LIMITED TO - SKIRTINGS, ARCHITRAVES, MOULDINGS, DADO RAILS AND CORNICES, WHICH ARE REMOVED AS PART OF WALL/CEILING DEMOLITION ARE TO BE RETAINED ON SITE FOR RE-USE IN FUTURE TENANTS FITOUT WORKS

CLIENT: TOGA

ARCHITECT: PLACE

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PROJECT: #2021002

DARLINGHURST COLLECTION

DRAWING TITLE: GROUP 2 LEVEL 2 RESTORATION RCP

SHEET NUMBER: AR-DA-2-2003

REV: 2

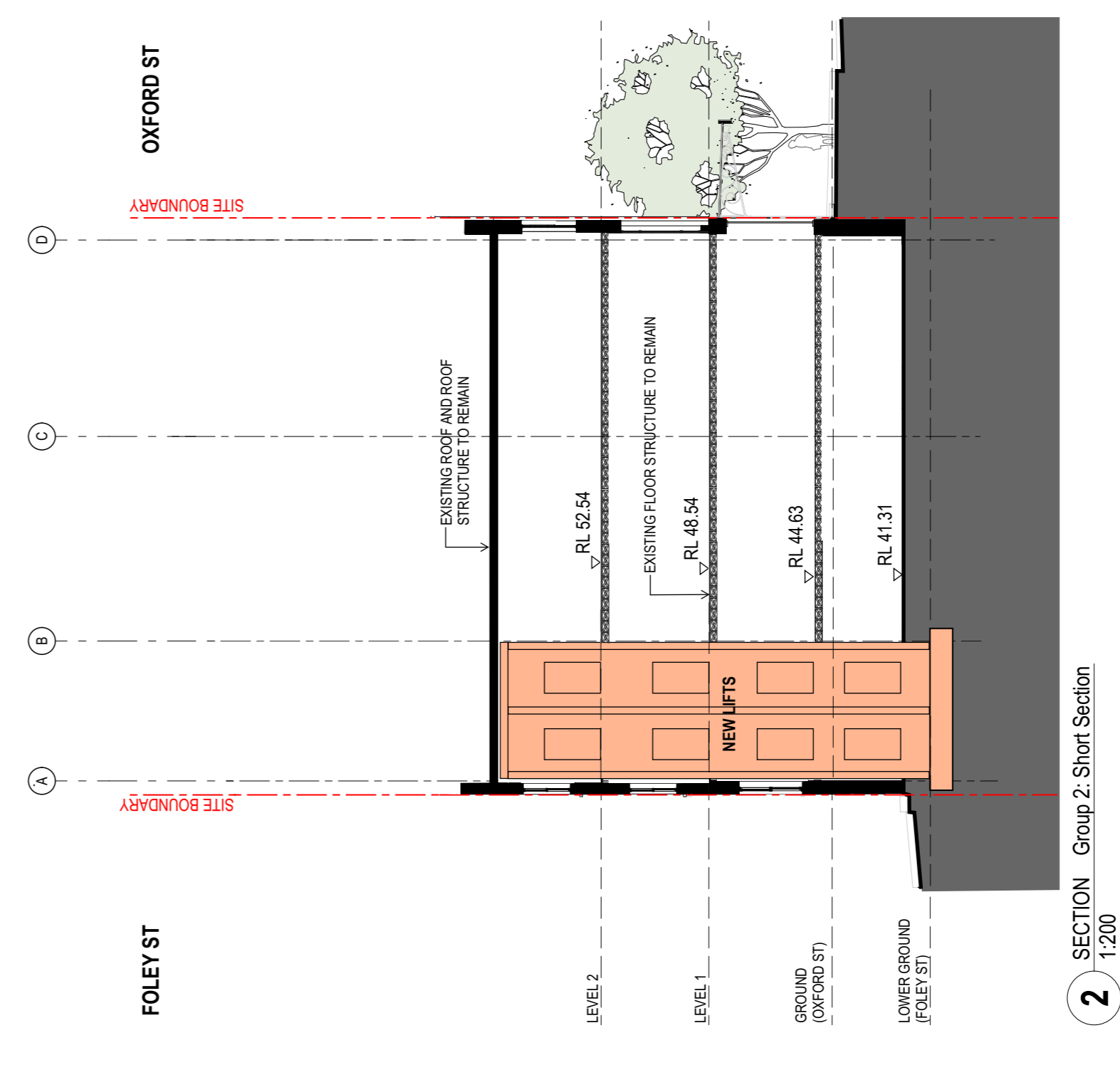
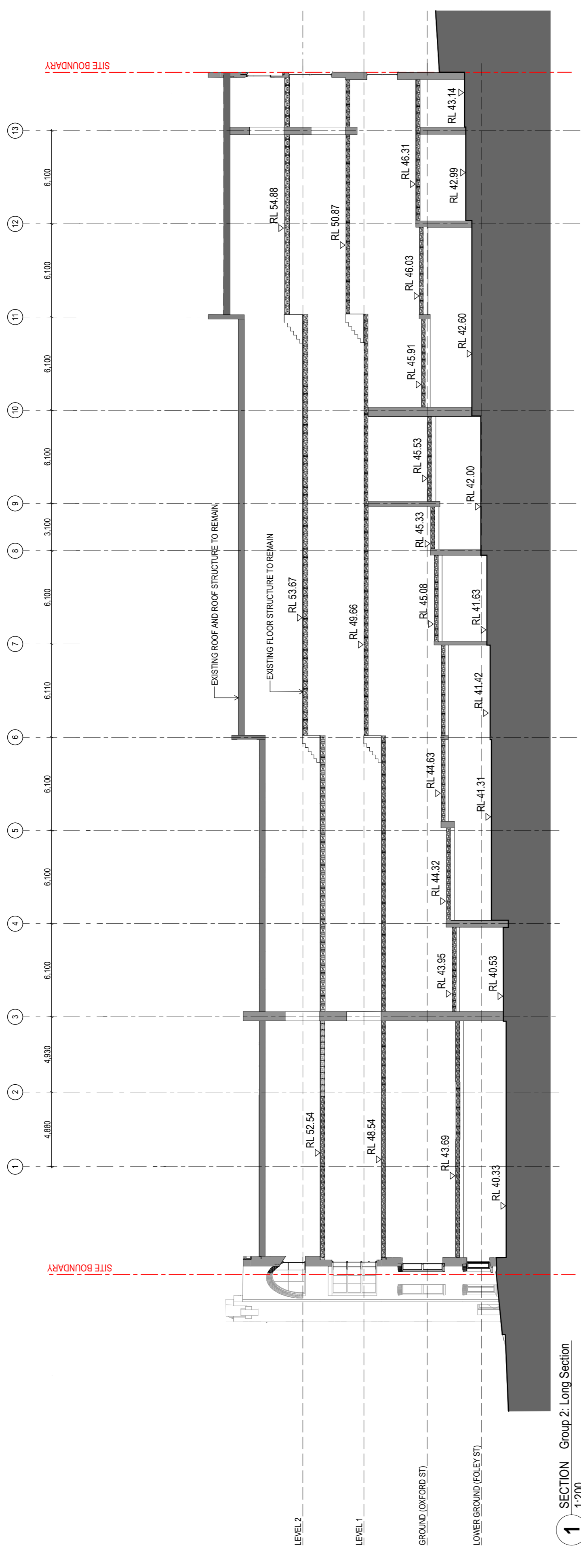
1 PLAN Level 2 1:200

DATE: 26/02/2022

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REV	DATE	DESCRIPTION	APP
1	25/02/2022	DEVELOPMENT APPLICATION	NJS



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PROJECT:
#2021002
DARLINGHURST
COLLECTION

DRAWING TITLE:
GROUP 2
SECTIONS

SHEET NUMBER:
AR-DA-2-3000

REV: **1**

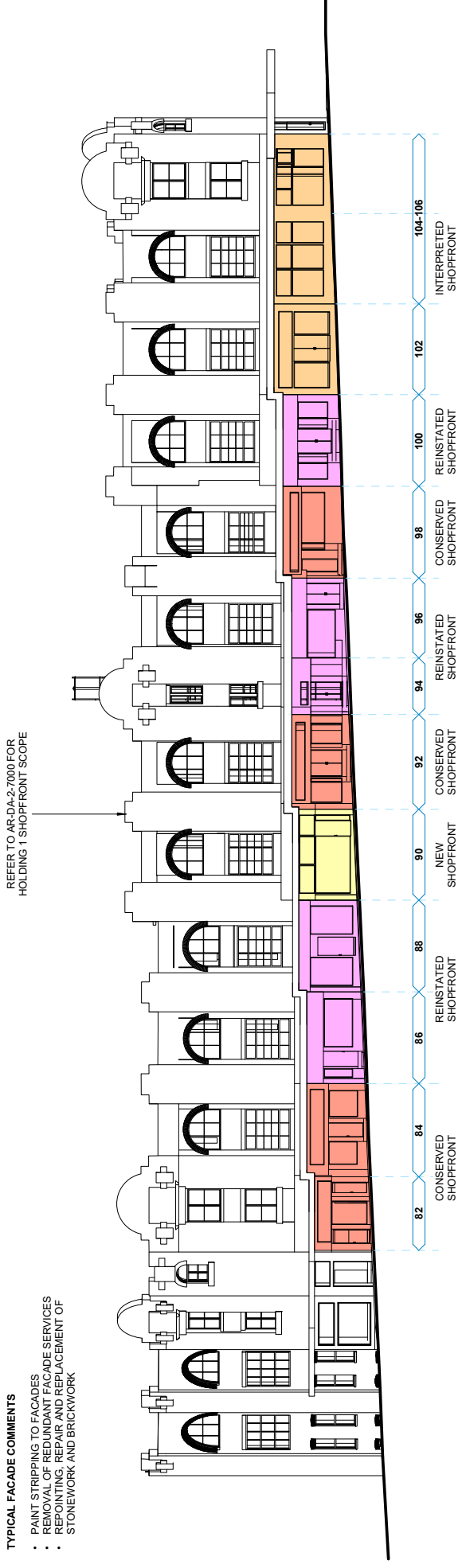
DATE: 25/02/2022
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Client: Toga
 Date: 25/02/2022
 Rev: 1

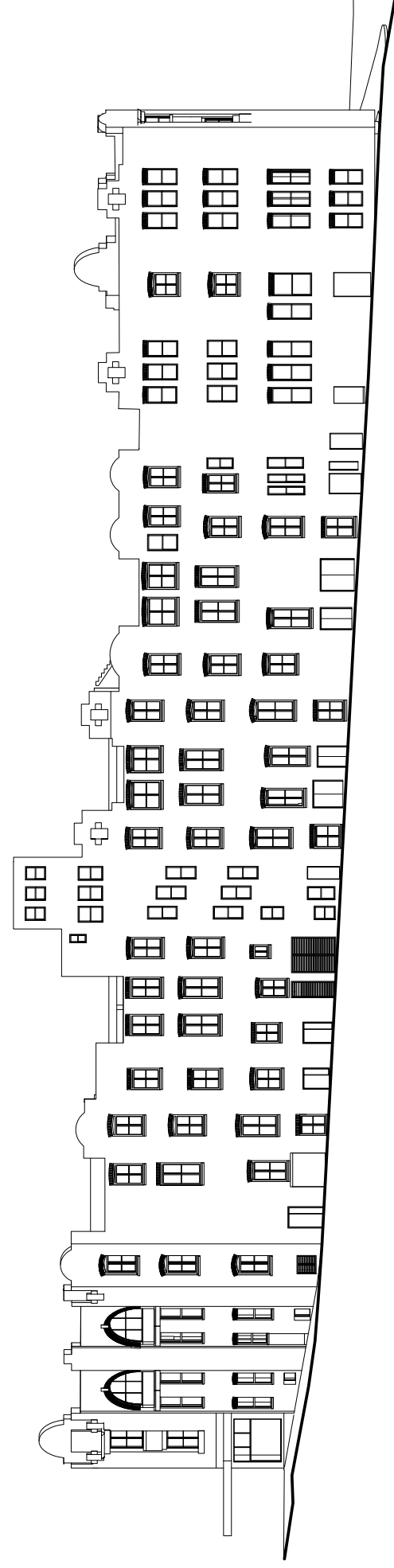
Document Notes:
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REV	DATE	DESCRIPTION	APP	NO
1	25/02/2022	DEVELOPMENT APPLICATION		

- LEGEND:
- WINDOW MODIFICATIONS
 - NEW SHOPFRONTS
 - INTERPRETED SHOPFRONTS
 - REINSTATED SHOPFRONTS
 - CONSERVED SHOPFRONTS



GROUP 02 - OXFORD STREET ELEVATION (SOUTH)
 1: 200



GROUP 02 - FOLEY STREET ELEVATION (NORTH)
 1: 200

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PROJECT:
 #2021002
**DARLINGHURST
 COLLECTION**
 DRAWING TITLE:
**GROUP 2 ELEVATIONS
 NORTH & SOUTH**
 SHEET NUMBER:
AR-DA-2-5000
 REV: 1
 DATE: 25/02/2022

**PRELIMINARY
 NOT FOR CONSTRUCTION
 DEVELOPMENT APPLICATION**

Group 2 Shopfronts

82 Oxford Street

- Shopfront to be
- Installed with clear glazing to the highlights above the transom rails, to retain the clarity into each frontage.
- The finished ceiling level within the retail spaces must be set at the original height.
- Retain and conserve the intact Inter-War Streamline Moderne shopfront configuration and fabric including the terrazzo thresholds and steps, door joinery and hardware, wrought metal grills in front of the highlight glazing, stainless steel linings to the columns and pigmented glass linings.

84 Oxford Street

- Shopfront to be
- Installed with clear glazing to the highlights above the transom rails, to retain the clarity into each frontage.
- The finished ceiling level within the retail spaces must be set at the original height.
- Retain and conserve the intact Inter-War Streamline Moderne shopfront configuration and fabric, including the wrought metal grills in front of the highlight glazing, timber door, door hardware, and terrazzo pavement to the entry.

86 Oxford Street

- Shopfront to be
- Installed with clear glazing to the highlights above the transom rails, to retain the clarity into each frontage.
- The finished ceiling level within the retail spaces must be set at the original height.
- Retain and conserve the intact Inter-War Streamline Moderne shopfront and fabric including the timber door and door hardware.
- Remove overcladding over the transom rail and highlight glazing above the transom rail.
- Reinstate
- wrought metal grills in front of the highlight glazing.
- stainless steel trim to the transom rail.
- pigmented (or colourbacked) glass to the transom rail, to the stallboards, and to the piers on either side of the shopfront.
- stainless steel vents to the stallboards
- terrazzo pavement to the recessed entry if the early terrazzo is not recoverable from beneath the ceramic tiles.
- to be consistent with evidence in the 1937-1940 shopfront drawings (City of Sydney Archives CRS 782 1573/1-3) and historic photographs between 1937 and 1960:

88 Oxford Street

- Shopfront to be
- Installed with clear glazing to the highlights above the transom rails, to retain the clarity into each frontage.
- The finished ceiling level within the retail spaces must be set at the original height.
- Retain the transom rail and highlight glazing if this is revealed as dating from 1940.
- Reconstruct the lower portion of the shopfront below the transom rail to include a central recessed entry, with stallboards and glazing to either side, below the transom rail and highlight glazing.
- Reinstatement
- timber framed and glazed door, and door hardware.
- terrazzo pavement to the recessed entry.
- pigmented (or colourback) glass linings to the stallboards and to the piers on either side of the shopfront.
- wrought metal grills in front of the highlight glazing and
- stainless steel vents to the stallboards.
- to be consistent with evidence in the 1937-1940 shopfront drawings (City of Sydney Archives CRS 782 1573/1-3) and historic photographs between 1937 and 1960

90 Oxford Street

- Shopfront to be
- Installed with clear glazing to the highlights above the transom rails, to retain the clarity into each frontage.
- The finished ceiling level within the retail spaces must be set at the original height.
- New glazed assembly to be of high-quality framing, such as steel. No aluminium framing to be installed.
- The assembly is to incorporate a transom rail with fixed highlight glazing above the transom rail extending to the underside of the original beam over the opening.
- Additional brickwork adjacent to the two structural piers to be inset from the facade by a minimum of 120mm (similarly to No. 94), so that the piers to either side of the assembly are retained in their original width.
- The original frontage of the piers and the return reveals to the opening, to be covered with pigmented (or colour-backed) glass.
- The pavement of the entry to be terrazzo.

Group 2 Shopfronts

92 Oxford Street

- Shopfront to be
- Installed with clear glazing to the highlights above the transom rails, to retain the clarity into each frontage.
- The finished ceiling level within the retail spaces must be set at the original height.
- Retain and conserve the transom rail and highlight glazing dating from 1940. The shopfront below the transom to either be retained or replaced to provide a closer interpretation of the Inter-War Streamline Moderne shopfronts.

94 Oxford Street

- Shopfront to be
- Installed with clear glazing to the highlights above the transom rails, to retain the clarity into each frontage.
- The finished ceiling level within the retail spaces must be set at the original height.
- Retain and conserve all intact Inter-War Streamline Moderne fabric including the structural glass linings, decorative metalwork, door and window joinery and terrazzo thresholds and steps and the wrought metal grille in front of the highlight glazing.
- Remove the paint from the eastern pier.
- Reinstate the pigmented structural (or colour-backed) glass to the western pier.

96 Oxford Street

- Shopfront to be
- Installed with clear glazing to the highlights above the transom rails, to retain the clarity into each frontage.
- The finished ceiling level within the retail spaces must be set at the original height.
- Retain and conserve the intact Inter-War Streamline Moderne shopfront configuration and fabric, including the pigmented glass linings and metal trim of the transom rail and highlight glazing,the timber framed doors, door hardware, and terrazzo pavement to the recessed entry.
- Reinstatement of the following
- glazing to the door panels.
- clear fixed glazing to the shopfront removing the bifold sashes to the shopfront.
- pigmented (or colour-backed) glass linings to the stallboards and to the piers on either side of the shopfront.
- wrought metal grills in front of the highlight glazing and
- stainless steel vents to the stallboards.
- consistent with evidence in the 1937-1940 shopfront drawings (City of Sydney Archives CRS 782 1573/1-3) and historic photographs between 1937 and 1960.

98 Oxford Street

- Shopfront to be
- Installed with clear glazing to the highlights above the transom rails, to retain the clarity into each frontage.
- The finished ceiling level within the retail spaces must be set at the original height.
- To be retained or replaced to provide a closer interpretation of the Inter-War Streamline Moderne shopfronts.

100 Oxford Street

- Shopfront to be
- Installed with clear glazing to the highlights above the transom rails, to retain the clarity into each frontage.
- The finished ceiling level within the retail spaces must be set at the original height.
- The dropped ceiling of the shop interior and the over cladding over the highlight glazing to be removed and the clear vision glazing reinstated to the highlight glazing.
- The pigmented (or colour-backed) glass linings and stainless steel trim to be reinstated to the transom rail.
- The existing tiles to the stallboard and piers either side of the shopfront to be removed and pigmented (or colour-backed) glass linings must be reinstated to the stallboards and to the two piers.
- The wrought metal grills in front of the highlight glazing to the design must be reinstated based upon the evidence in the 1937-1940 shopfront drawings at the City of Sydney Archives (CRS 782 1573/1-3) and historic photographs of the buildings between 1937 and 1960.

102 Oxford Street

- Shopfront to be
- Installed with clear glazing to the highlights above the transom rails, to retain the clarity into each frontage.
- The finished ceiling level within the retail spaces must be set at the original height.
- Pigmented (or colour-backed) glass linings to the stallboards and to the piers on either side of the shopfront
- A terrazzo pavement to the recessed entry, timber framed doors and hardware are to be installed, interpreting the remaining 1937-1940 shopfronts at Nos. 82 and 84 Oxford Street.

Group 2 Shopfronts

104-106 Oxford Street

- Shopfront to be
- Installed with clear glazing to the highlights above the transom rails, to retain the clarity into each frontage.
- The finished ceiling level within the retail spaces must be set at the original height.
- Construct and install a new shopfront to each existing shopfront opening onto Oxford Street and Palmer Street below the awnings, to a design that interprets the Inter-War Streamline Moderne design evident in the 1937-1940 shopfront drawings in the City of Sydney Archives (CRS 782 1573/1-3) and historic photographs of the buildings between 1937 and 1960. The configuration may exclude a recessed entry, but is to include stallboards and glazing below a transom rail and highlight glazing extending full height to the underside of the beam. Pigmented (or colour-backed) glass linings must be installed to the stallboards and to the piers on either side of the shopfronts. At the corner entry to No 106, install a new timber framed and glazed door and door hardware consistent with the shopfront door at No 84 Oxford Street.